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rev	notes	date

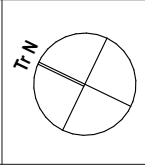
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**MR MUHAMMAD FERDOUS ALAM**  
**548 PUNCHBOWL ROAD LAKEMBA**  
**NSW**  
client

**PROPOSED NEW SECONDARY DWELLING**  
project  
**548**  
**PUNCHBOWL ROAD**  
**LAKEMBA**  
address

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ACCREDITED  
BUILDING DESIGNER  
**Accreditation No.6667**  
Registration Class  
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)  
Registration Number DEP0001890



**SITE ANALYSIS PLAN**  
drawing  
**125-174**  
project  
**A02**  
drawing no.  
**A**  
issue  
24/2/25

ESD NOTES

WATER CONSERVATION	
SELECTED WATER DEVICES TO ALL NEW WORKS AREAS WITH THE FOLLOWING STAR RATINGS	
ITEM	RATING
SHOWER BASIN TAPS	4 STAR
SHOWER ROSE & MIXER	4 STAR
WC FLUSH SYSTEM	4 STAR
LAUNDRY TAPS	4 STAR

THE SELECTED RATING SYSTEM IS CONTAINED IN THE MANUAL OF ASSESSMENT PROCEDURE OF WATER EFFICIENT APPLICATIONS SAA MP64-1995S ALL DWELLING ROOF AREAS ARE TO BE DRAINED INTO A 2500 LITRES RAIN WATER TANK TO BE PROVIDED AS SPECIFIED ON THESE DRAWINGS AND CONNECTED TO ALL GARDEN & TOILET. INSTALLATION AND LABELLING OF PIPES TO BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT SAA CODES.

ENERGY CONSERVATION	
THE BUILDING IS TO BE CONSTRUCTED AND FITTED WITH ALL THERMAL PERFORMANCE SPECIFICATION REQUIREMENTS LISTED IN THE BASIX CERTIFICATE, AND IS TO INCLUDE THE FOLLOWING AT MINIMUM:	
ITEM	REQUIRMENT
EXTERNAL WALLS	BRICK VENEER WALLS
INTERNAL WALLS	TIMBER WALLS
FLOOR TYPE	CONCRETE FLOOR
WINDOW & SLIDING DOOR	ALUM FRAME WITH 6.82mm LAMINATED GLAZING.
GLASS TYPE	
ROOF TYPE	TILED PITCH T/C TILES
ROOF INSULATION	FOIL SISALATION
CEILING INSULATION	TO BASIX CERTIFICATE
WALL INSULATION	TO BASIX CERTIFICATE
EXTERNAL WALL COLOUR	MEDIUM COLOUR
ROOF CLADDING COLOUR	MEDIUM COLOUR
WEATHER STRIPPING	TO ALL DOORS AND WINDOWS
ROOF VENTILATION	STANDARD
HOTWATER UNIT	INSTANT GAS.
AIR CONDITIONING FOR HEATING AND COOLING OF BEDROOMS AND LIVING ROOMS	SINGLE PHASE WITH < 3.0 EER & DAY/NIGHT ZONING BETWEEN BEDROOM AND LIVING AREAS

SHOWER ROOM EXHAUST	INDIVIDUAL FAN DUCTED TO FACADE OR ROOF WITH MANUAL SWITCH ON/OFF
LAUNDRY VENTILATION	NATURAL VENTILATION ONLY


LIGHTING: ALL FITTINGS CAPABLE OF ACCEPTING FLUORESCENT LAMPS TO: ALL NEW SELECTED WHITE GOODS AND OTHER PRIME COST ELECTRICAL APPLIANCES ARE TO BE OF AT LEAST A 3.5 STAR ENERGY RATING. THIS SHALL INCLUDE AT MINIMUM: REFRIDGERATOR, DISHWASER, WASHING MACHINE. DRYER TO BE AT LEAST 2.5 STAR RATED. PROVIDE ADEQUATE VENTILATION SPACE BEHIND REFRIDGERATOR TO MANUFACTURERS REQUIREMENTS.

ALL GAS APPLIANCES ARE TO BE OF AT LEAST A 3.5 STAR ENERGY RATING. THIS SHALL INCLUDE AT MINIMUM: KITCHEN COOK TOP AND OVEN; AND A 3 STAR INSTANTAOUS GAS HOT WATER SYSTEM FOR DOMESTIC HOT WATER SUPPLY.

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PROVIDE EXTERNAL CLOTHES DRYING AREA AS INDICATED ON PLAN, AND RETRACTIBLE INTERNAL DRYING LINE IN LAUNDRY.

**BASIX CERTIFICATE**  
THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE BASIX CERTIFICATE AND SPECIFICATION AND REQUIREMENTS

**SMOKE ALARM**  
 DENOTES  
CEILING MOUNTED SMOKE ALARM CONNECTED TO MAINS POWER SUPPLY WITH BATTERY BACK.  
AS PER: BCA: CLASS 1a BUILDING IN ACCORDANCE WITH 9.5.2 & 9.5.4 AS 1603; AS1670;AS3786 &AS1851.8

**STORMWATER**  
ALL STORMWATER DRAINAGE TO BE IN ACCORDANCE WITH AS 3500 & COUNCIL'S REQUIRMENTS. DOWN PIPE & S/W PIPE LOCATIONS AND DOWNPIPES ARE INDICATIVE ONLY - TO BE DETERMINED BY PLUMBER.







ALL STORMWATER TO BE DISCHARGED TO THE STREET GUTTER USING NEW AND EXISTING UNDERGROUND PIPING. ALL NEW PIPING TO BE STORMWATER GRADE UPVC TO ALL RELEVANT AND CURRENT SAA CODE REQUIREMENTS.

ALL WATER RUN-OFF FROM PAVING TO BE DIRECTED TO GRASS AREAS AND GARDEN BEDS.

REFER TO STORMWATER DRAINAGE CONCEPT PLAN FOR FURTHER DETAILS.

**TERMITE PROTECTION**  
PROVIDE TERMITE PROTECTION IN ACCORDANCE WITH AS 3660.1 - 2000. PROVISIONS IN THIS DESIGN INCLUDE:  
- PESTICIDE RETICULATION SYSTEM BELOW THE GROUND SLAB WITH FREQUENT CHEMICAL INJECTION SERVICE TO MANUFACTURER'S MAINTENANCE RECOMMENDATIONS.  
- WOVEN METAL MESH FABRIC LAID ACROSS 270MM BRICK WALL CAVITIES BELOW THE FLOOR STRUCTURE LEVEL.  
REFER TO SECTIONS FOR FURTHER DETAILS

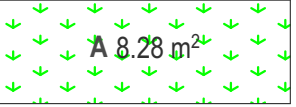
WINDOW SCHEDULE

WINDOW REF No.	WINDOW TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE	SILL HEIGHT. FROM FFL
 	ALUM. FRAME SL. WINDOWS	1200mm	1200mm	900mm
 	HIGH ALUM. FRAME AWNING WINDOWS FROSTED	900mm	600mm	1500mm
	ALUM. FRAME SL. DOOR	1800mm	2100mm	0mm
	ALUM. FRAME SL. WINDOW	1200mm	1000mm	1000mm

BUILDING CALCULATIONS

NO	CONTROLS	PROPOSAL
1	LOT SIZE MIN.= 450-600 m²	LOT SIZE= 520.00m²
2	LOT WIDTH MIN. REQ.= 12.00m	ACTUAL LOT WIDTH = 11.885m
3	DWELLING MAX. BLDNG FOOTPRINT AREA = 330.00m² SEC.DWELLING MAX. AREA = 60m²	ACTUAL EX. DWELLING = 157.30m² ACTUAL SEC. DWELLING AREA= 60m² TOTAL DWELLING AREA =217.30m²
4	SITE COVER =50%= 260.00m²	ACTUAL SITE COVER =49.71%= 258.54m²
5	S/DWELLING BLDNG HEIGHT MAX.= 3.80m	ACTUAL S/DWELLING BLDNG HEIGHT =3.800m
6	SIDE S/BACK MIN.= 0.90m	ACTUAL SIDE SETBACK MIN.= 0.939m
7	REAR SETBACK MIN. = 3.00m	ACTUAL REAR SETBACK = 3.00m
8	LANDSCAPED AREA MIN. = 25% =130.00 m²	ACTUAL LANDSCAPED AREA = 25.18% =130.95 m²
9	S/WATER PERVIOUS AREA=30%=156.0m²	ACTUAL S/WATER PERVIOUS AREA = 31.67% =164.70 m²
10	PRIVATE COURTYARD AREA = 24.0m²	PRIVATE COURTYARD A-AREA = 57.37 m² PRIVATE COURTYARD B-AREA = 50.00 m²

PROPOSED LANDSCAPED AREA CALCULATIONS



LAND AREA = 520.0 m²

SOFT LANDSCAPED AREA REQ. = 25%= 130.00m²

PERVIOUS AREA CALCULATIONS

AREA	
A=23.58 m²	
B=57.37m²	
C=50.00m²	
TOTAL	130.95 m² 25.18% OF SITE AREA

PROPOSED STORMWATER SOFT AREA CALCULATIONS

A 8.28 m²







LAND AREA = 520.00 m²



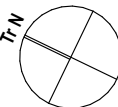
STORMWATER SOFT AREA REQ. = 30%= 156.0m²

PERVIOUS AREA CALCULATIONS

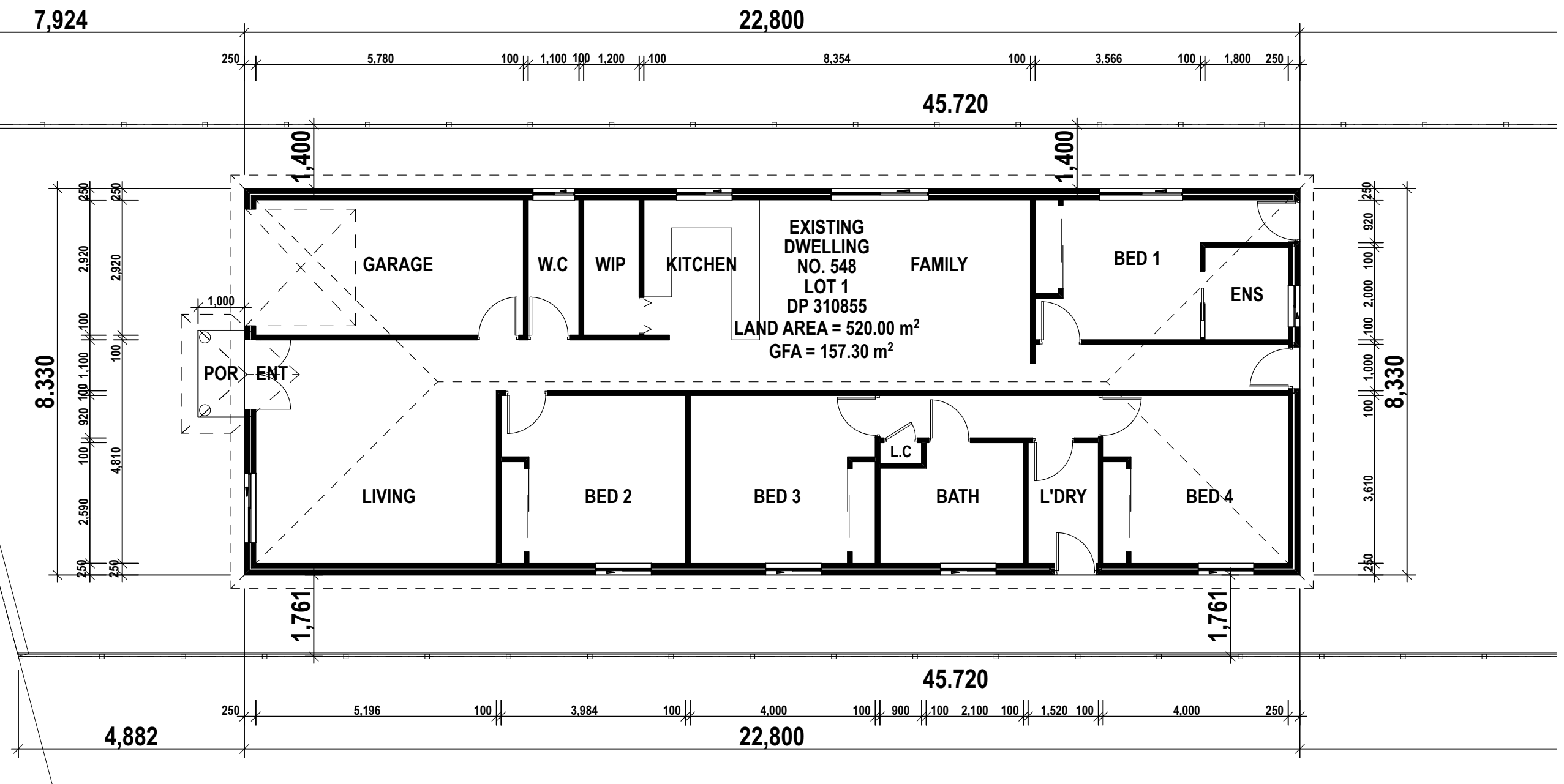
AREA	
A=23.58 m²	
B=57.37m²	
C=50.00 m²	
D=4.29m²	
E=4.32m²	
F=25.14m²	
TOTAL	164.70 m² 31.67% OF SITE AREA

DOOR SCHEDULE

DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE
	SOLID CORE DOOR	900 mm	2100mm
   	HOLLOW CORE SWING DOORS	900 mm	2100mm
	HOLLOW CORE SWING DOOR	850 mm	2100mm

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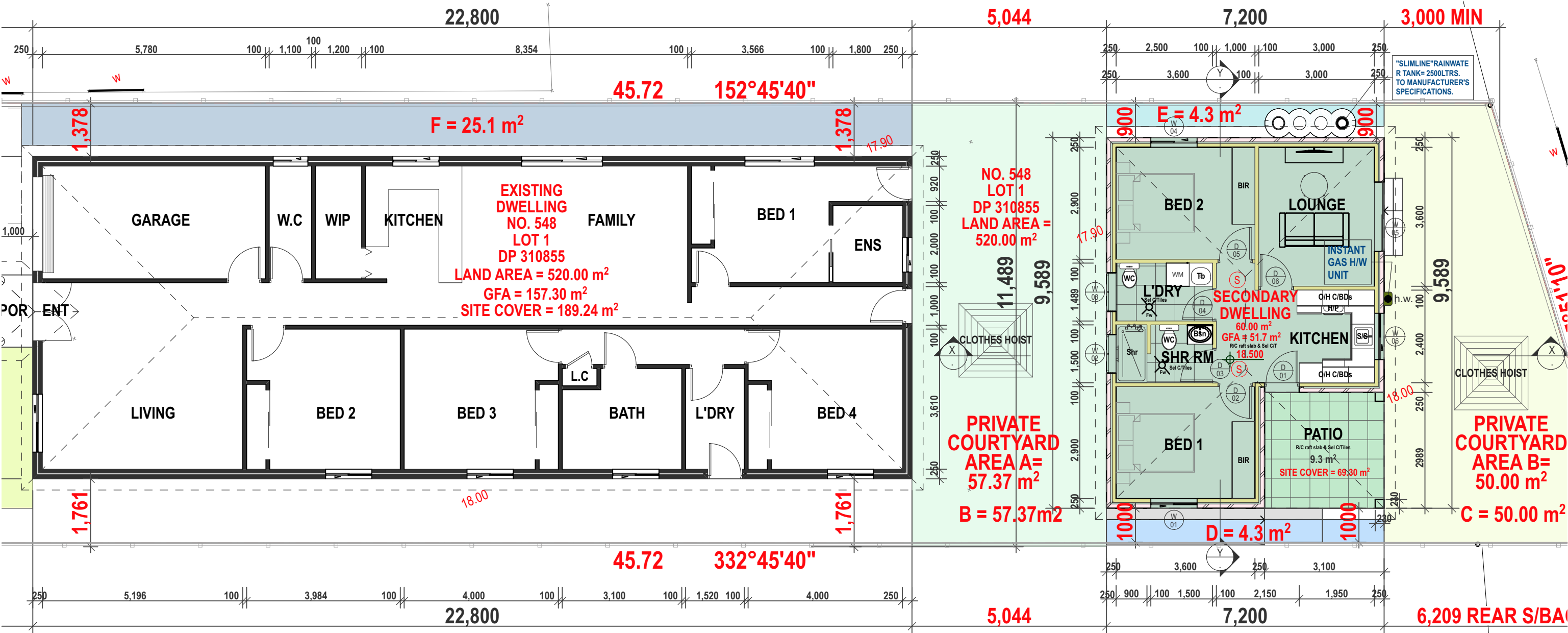




## PLAN OF EXISTING FRONT DWELLING 1:100

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<div>A DA SUBMISSION</div> <div>rev notes date</div>			<div>24/2/25</div>																										





# PLAN OF PROPOSED SECONDARY DWELLING 1:100

**SMOKE ALARM**  
Ⓢ DENOTES  
CEILING MOUNTED SMOKE ALARM CONNECTED TO MAINS POWER SUPPLY WITH BATTERY BACK.  
AS PER: BCA: CLASS 1a BUILDING IN ACCORDANCE WITH 9.5.2 & 9.5.4 AS 1603; AS1670;AS3786 &AS1851.8

**BCA & SEPP COMPLIANCE:**  
THE ENTIRE PROPOSAL IS IN CONFORMITY WITH ALL RELEVANT PARTS OF THE BUILDING  
CODE OF AUSTRALIA 2022 ( NCC 2022) & THE NSW HOUSING CODE - SEPP 2008 & SEPP 2021.

## WINDOW SCHEDULE

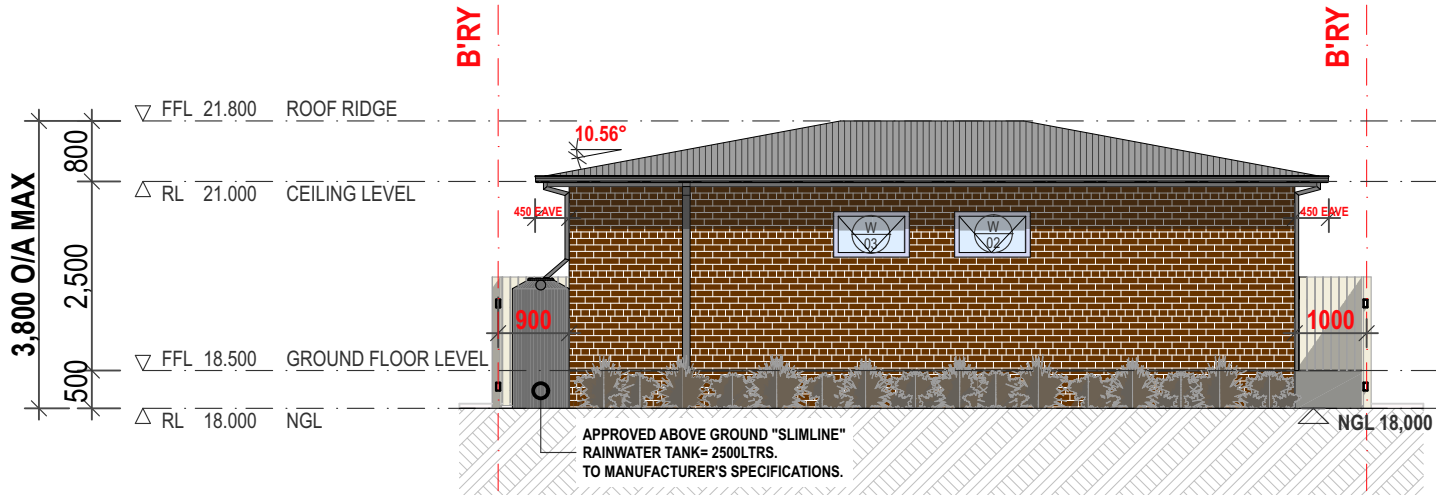
WINDOW REF No.	WINDOW TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE	SILL HEIGHT. FROM FFL
W 01	ALUM. FRAME SL. WINDOWS	1200mm	1200mm	900mm
W 02	HIGH ALUM. FRAME SL. WINDOW FROSTED	1000mm	600mm	1500mm
W 03	ALUM. FRAME SL. DOOR	1800mm	2100mm	0mm
W 04	ALUM. FRAME SL. WINDOW	1200mm	1000mm	1000mm

## DOOR SCHEDULE

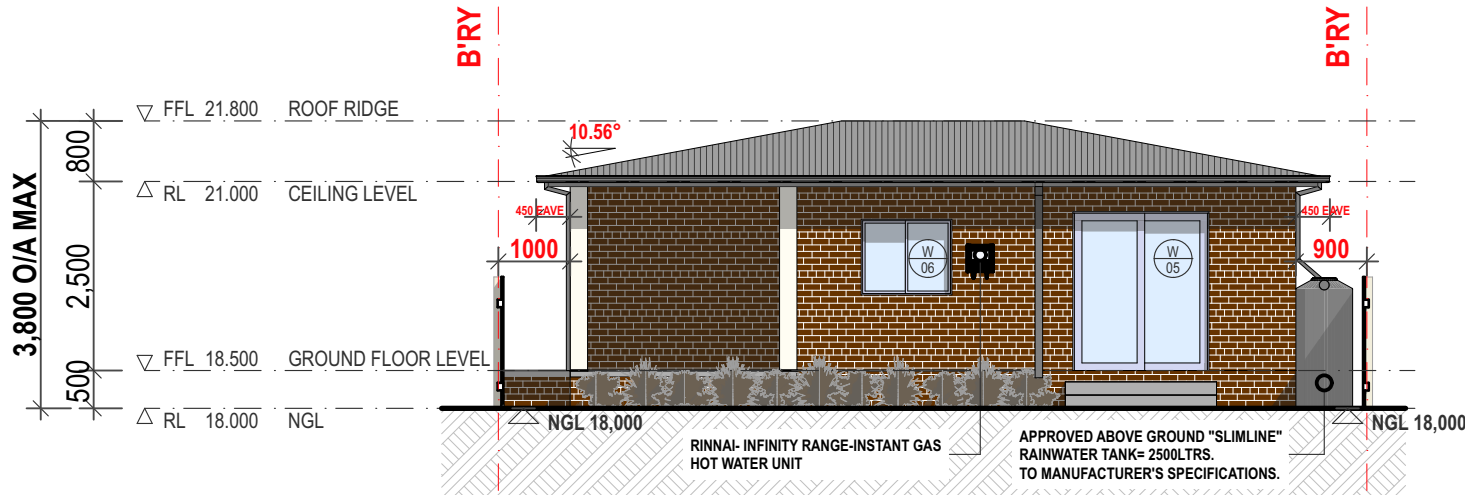
DOOR REF No.	DOOR TYPE (REFER DRAWINGS)	X (HORIZ). DIMENSION STRUCTURAL OPENING CHECK ON SITE	Y (VERTICAL). DIMENSION STRUCTURAL OPENING CHECK ON SITE
D 01	SOLID CORE DOOR	900 mm	2100mm
D 02	HOLLOW CORE SWING DOORS	900 mm	2100mm
D 03	HOLLOW CORE SWING DOOR	850 mm	2100mm

## WINDOW & DOOR SCHEDULE

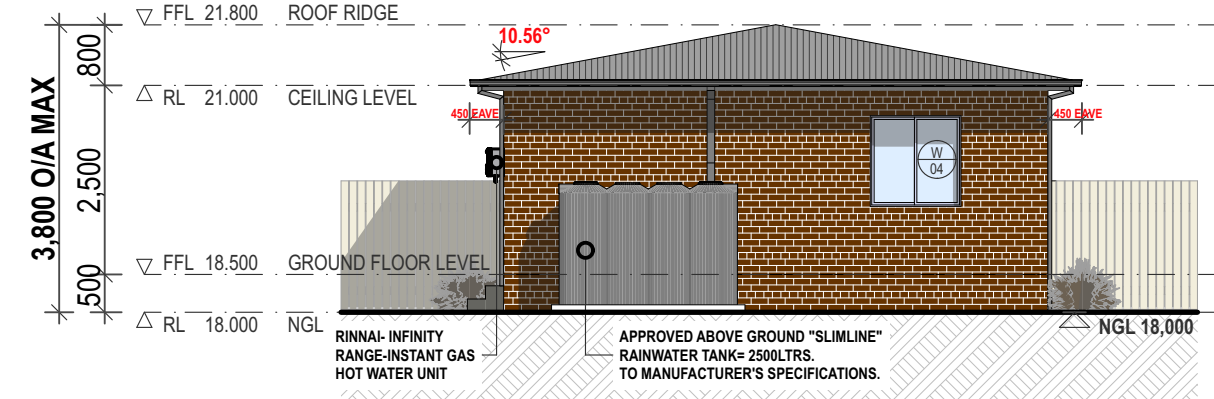
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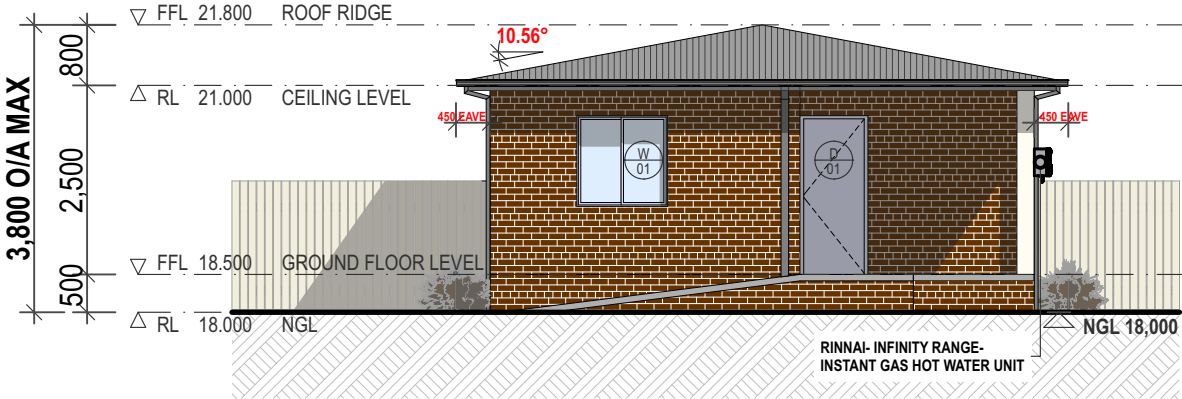
FRONT ELEVATION-NORTH 1:100



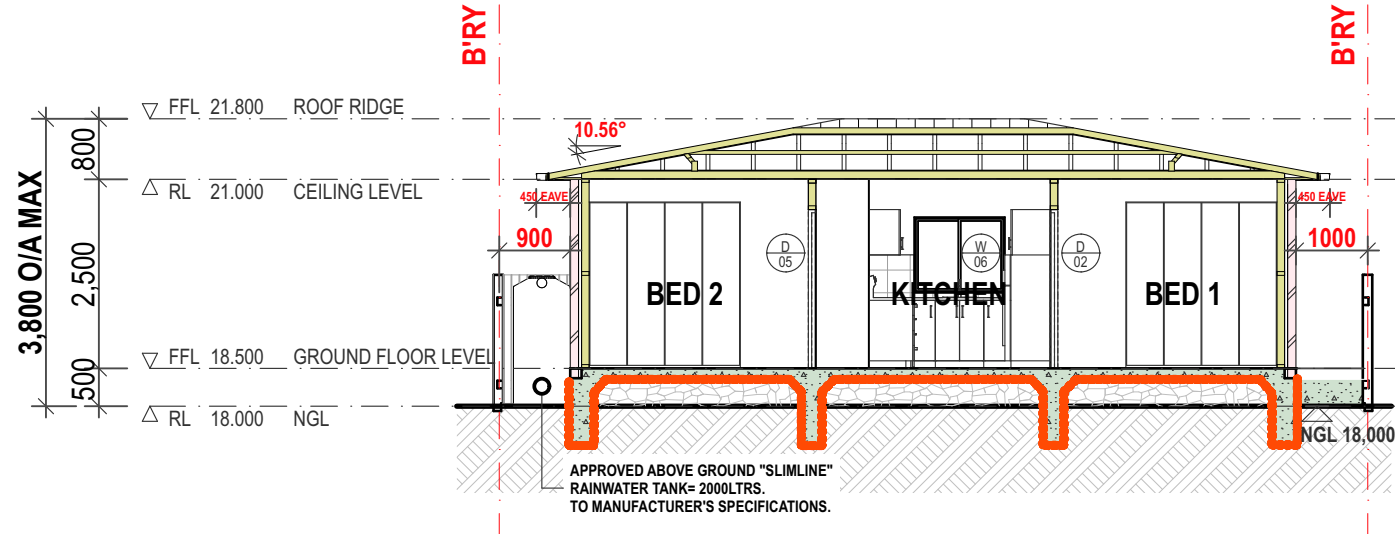
REAR ELEVATION-SOUTH 1:100



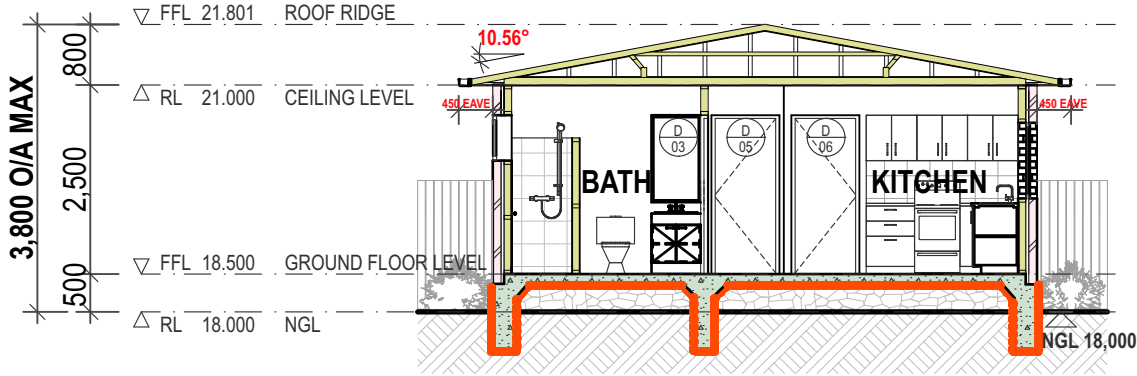
SIDE ELEVATION-EAST 1:100



SIDE ELEVATION-WEST 1:100



SECTION Y-Y 1:100



SECTION X-X 1:100

## SPECIFICATIONS:

**ROOF CONSTRUCTION:**  
SHEET METAL PITCHED ROOF.  
PITCH = 18 DEGREES MINIMUM. EAVES = 450mm WITH GUTTERS.  
ROOF SHEETING AS PER SCHEDULE OF EXTERNAL FINISHES.  
GUTTERS/DOWN PIPES= SEL. COLORBOND.  
DOWN PIPES TO BE CONNECTED AND DISCHARGE TO STREET'S GUTTER VIA THE EXISTING DWELLING'S STORM WATER SYSTEM VIA & NEW ABOVE GROUND RAINWATER TANK.  
ALL WORK & MATERIALS UNDER THE CARPENTER'S TRADE SHALL COMPLY TO AS 1684.2- 2010 CODE.  
ALL STRUCTURAL ROOF TIMBER MEMBER SIZES TO SPECIFICATIONS & DETAILS ON THE PLANS.  
10mm PLASTER BOARD SHEETING TO CEILING LINING WITH 100mm SEL CORNICE.  
FIBRO SHEETING TO EAVES LINING.  
ROOF & CEILING TO BE INSULATED AS PER BASIX CERTIFICATE.

**WALL CONSTRUCTION:**  
EXTERNAL WALLS =250mm BRICK VENEER WALLS.  
INTERNAL WALLS = 100mm TIMBER FRAME WALLS.  
10mm PLASTER BOARD SHEETING TO WALLS INTERNALLY.  
ALL WORK & MATERIALS TO CONFORM TO AS 1684.2 -2010 CODE.  
SEE SPECIFICATION NOTES & DETAILS FOR THE WALLS STRUCTURAL TIMBER FRAME MEMBERS.

**FLOOR CONSTRUCTION:**  
R/C RAFT SLAB - WITH W/P MEMBRANE ON THE U/S OF THE SLAB.  
TO ENGINEERING DETAILS & DESIGN CERTIFICATE.

**WINDOWS:**  
ALUMINIUM FRAME SLIDING WINDOWS -  
TO WINDOW SCHEDULE, BASIX CERTIFICATE & SCHEDULE OF FINISHES.  
LAMINATED GLASS, FLY SCREENS & LOCKS TO BE INCLUDED.

**DOORS:**  
EXTERNAL DOORS -SEL. SOLID CORE W/P DOORS  
INTERNAL DOORS- SEL. HOLLOW CORE DOORS.  
TO DOOR SCHEDULE.  
ALL HARDWARE TO BE INCLUDED.

PROVIDE MECHANICAL VENTILATION CONNECTED TO THE LIGHT SWITCH FOR BOTH SHOWER & LAUNDRY.  
PROVIDE & INSTALL APPROVED SAFETY GLASS TO ALL SHOWERS & SHR & LAUNDRY WINDOWS.

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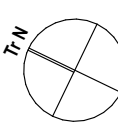
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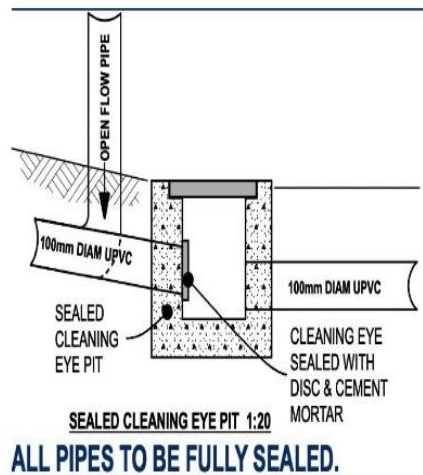
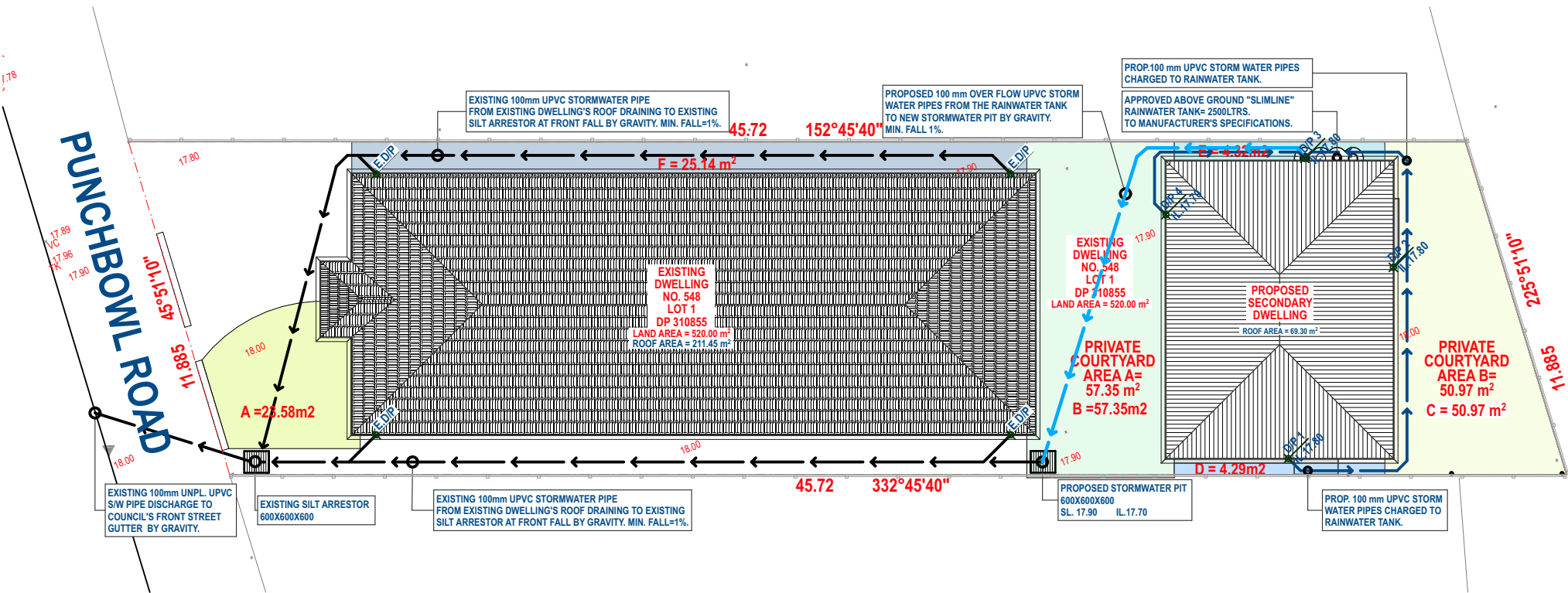
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BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)  
Registration Number DEP001890



## ELEVATION & SECTIONS

125-174	A07	A
project	drawing no.	issue
		24/2/25





### RAINWATER TANK NOTES

RAINWATER TANKS ARE TO BE:  
ERECTED ON A SELF-SUPPORTING BASE IN THE APPROVED LOCATION ON THE PROPERTY IN ACCORDANCE WITH THE STAMPED-APPROVED SITE PLANS FOR THE DEVELOPMENT,  
STRUCTURALLY SOUND AND CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500 1.2-1998: NATIONAL PLUMBING AND DRAINAGE - WATER SUPPLY - ACCEPTABLE SOLUTIONS,  
FULLY ENCLOSED AND ALL OPENINGS SEALED TO PREVENT ACCESS BY MOSQUITOES,  
FITTED WITH A FIRST FLUSH DEVICE,  
FITTED WITH A TRICKLE SYSTEM TO TOP UP FROM MAINS WATER, PROVIDED WITH AN AIR GAP, AND  
INSTALLED BY A LICENSED PLUMBER IN ACCORDANCE WITH SYDNEY WATER'S "PLUMBING REQUIREMENTS INFORMATION FOR RAINWATER TANK SUPPLIERS AND PLUMBERS APRIL 2003" AND THE NSW CODE OF PRACTICE: PLUMBING AND DRAINAGE.

# STORM WATER DRAINAGE CONEPT PLAN 1:200

<div>NOTES : DO NOT SCALE OFF DRAWINGS. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON SITE BEFORE THE COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES. C.O.S. DENOTES ITEM TO BE CHECKED ON SITE.  ALL LEVELS ARE TO AHD AND HAVE BEEN DETERMINED FROM OSUM SURVEYING SERVICES PL -  AVAILABLE DETAILED SITE SURVEY INFORMATION BY THESE DESIGNS, PLANS AND SPECIFICATIONS AND THE COPYRIGHT THEREIN ARE THE PROPERTY OF ERGO DESIGNS AND MUST NOT BE USED, REPRODUCED OR COPIED WHOLLY OR IN PART WITHOUT THE WRITTEN PERMISSION OF ERGO DESIGNS.</div>	<div>.. ..  . &lt;</div>
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### STORMWATER NOTES

DRAWING SYMBOL	LEGEND
	PROP. UNDERGROUND STORMWATER PIPING
	PROP. OVER FLAW UNDERGROUND STORMWATER PIPING FROM RAINWATER TANK TO NEW STORMWATER PIT.
	EXIST. HOUSE UNDERGROUND STORMWATER PIPING - 100 DIA. NOM.
	PROP. DOWNPIPE - 100 DIA. NOM.
	EXIST. DOWNPIPE - 100 DIA. NOM.
	RAIN WATER OUTLET - LINEAR GRATED SUMP 150 X 150MM NOM.
	SILT ARRESTOR - 600 X 600 X 600 NOM.

### NOTES

THIS DRAWING IS INDICATIVE OF THE STORWATER DISCHARGE DESIGN CONCEPT ONLY.

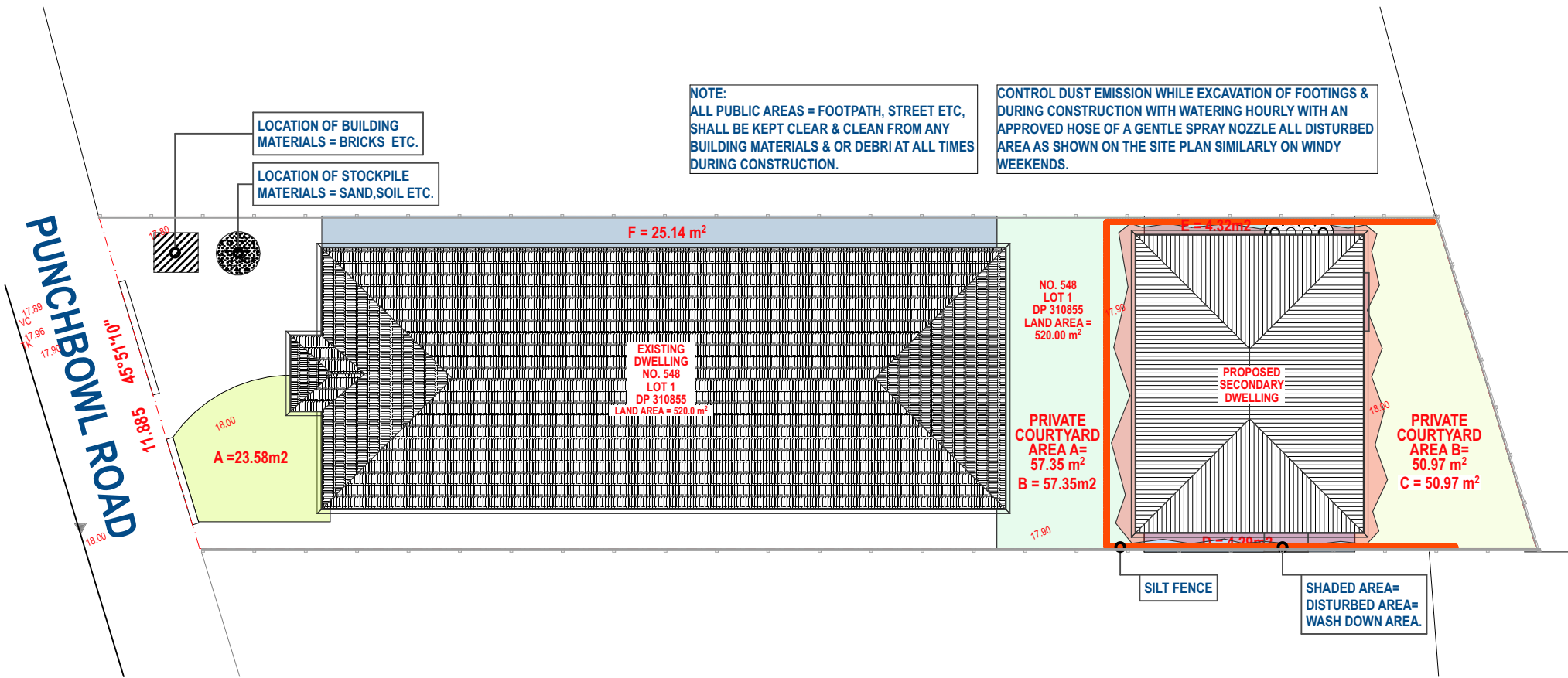
WATER RUN-OFF FROM PAVED AREAS IS TO BE ABSORBED AT THE PERIMETER GARDEN BEDS

ALL NEW STORMWATER PIPING TO BE 150MM DIA. STORMWATER GRADE UPVC.- TO HYDRAULIC ENGINEER'S DETAILS

SIZING OF ALL NEW ROOF GUTTERS DOWNPIPES AND UNDERGROUND STORMWATER PIPES ARE TO BE VERIFIED BY HYDRAULIC CONTRACTOR ON SITE BEFORE THE COMMENCEMENT OF THE WORKS.

ALL STORMWATER DRAINAGE WORKS ARE TO BE IN ACCORDANCE WITH AS3500 & COUNCIL'S REQUIRMENTS.

EXISTING STORMWATER PIPELINES ARE TO BE INSPECTED AND RECTIFIED OR REPLACE IF REQUIRED BY HYDRAULIC CONTRACTOR .



#### NOTES:

- ALL PRECAUTIONARY MEASURES ARE TO BE IN ACCORDANCE WITH ALL RELEVANT AS CODES AND COUNCIL REGULATIONS AND ARE INCLUSIVE OF BUT NOT LIMITED TO THE MEASURES DESCRIBED ON THIS PLAN.
- ALL PRECAUTIONARY MEASURES ARE TO BE ERECTED AND MAINTAINED IN ACCORDANCE WITH THE RELEVANT AS CODES AND COUNCIL REGULATIONS.
- NO RAW MATERIALS OR WASTE ARE NOT TO BE PURPOSEFULLY OR ACCIDENTALLY STORED IN PUBLIC SPACE EXCEPT WITHIN A TEMPORARY AND REMOVABLE WASTE BIN - AS INDICATED ON PLAN.
- ENSURE THAT NO SAFETY HAZARDS ARE CREATED IN PUBLIC SPACE OR NEIGHBOURING PROPERTIES. SWEEP IMMEDIATE FOOTPATH AND ROADWAY DAILY (OR NEIGHBOURING SURFACES IF REQUIRED) TO BE FREE OF ALL DEBRIS AND DUST.
- MINIMISE DISTURBED AREAS ON THE SITE BY KEEPING ACTIVITY AND STORAGE WITHIN THE BUILDING WORKS AREA AND THE FRONT YARD - AS DESCRIBED ON THE PLAN.
- ENSURE THAT NO NEIGHBOURING GROUNDS OR BUILDINGS ARE DISTURBED WITH DEBRIS OR CONSTRUCTION MATERIALS.
- ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOT PATHS, AND PLACED ON WATERPROOF MEMBRANE.
- DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- ALL SURFACES IN CONSTRUCTION AND STORAGE ZONE WHICH ARE TO BE RETAINED SHALL BE PROTECTED OR REPAIRED TO PREVIOUS CONDITION OR BETTER.
- ALL EROSION & SEDIMENT CONTROL MEASURES TO BE INSPECTED & MAINTAINED DAILY BY SITE MANAGER.
- NON COMPLIANCE TO THIS SOIL, WATER AND CONSTRUCTION MANAGEMENT PLAN UPON INSPECTION BY AUTHORITIES WILL RESULT TO A \$1500 FINE.

#### LEGEND:

UNDISTURBED VEGETATION



SILT FENCE



STOCK PILES



GEOTEXTILE FABRIC



FABRIC FILLED WITH GRAVEL



STORMWATER PIT



#### SOIL CONSERVATION NOTES

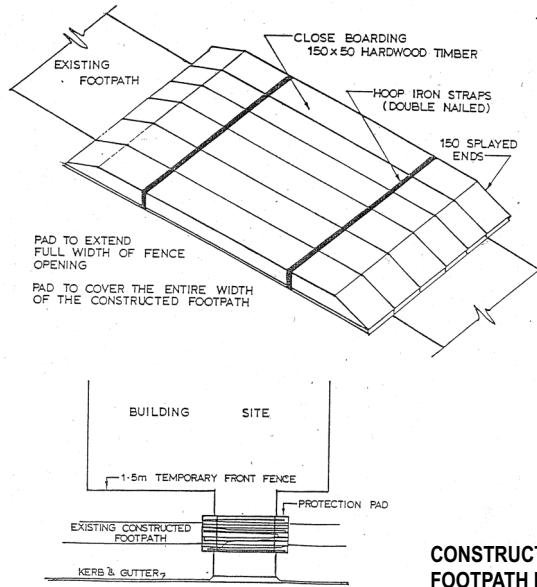
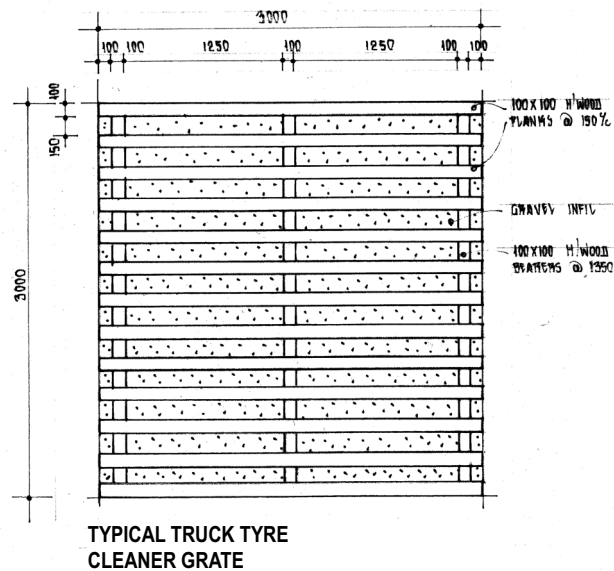
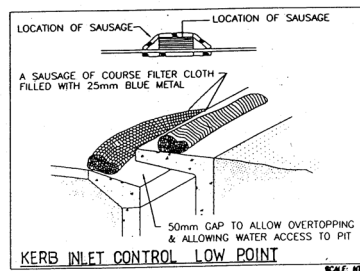
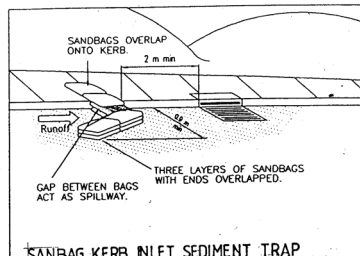
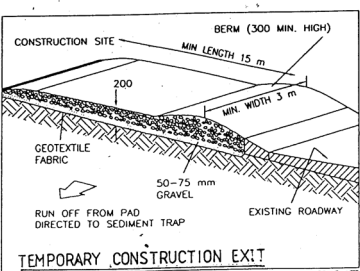
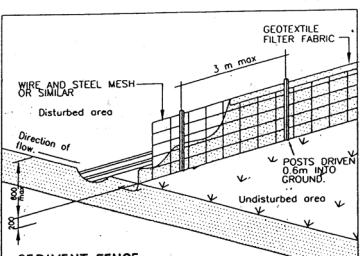
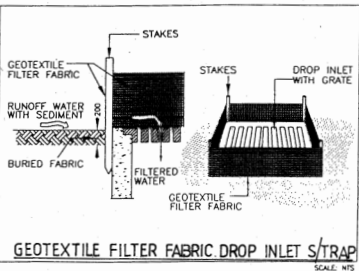
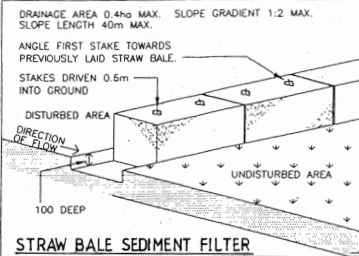
- A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

#### B. DURING CONSTRUCTION

- 1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
- 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
- 3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
- 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
- 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.



## EROSION & SEDIMENT CONTROL PLAN 1:200

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NSW

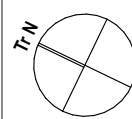
client

PROPOSED NEW SECONDARY DWELLING  
project  
548  
PUNCHBOWL ROAD  
LAKEMBA  
address

**Ergo Designs P/L**

building designers and consultants  
334A homer st earlwood nsw 2206 ph: 9558 1233  
e-mail: ergo-des@bigpond.net.au

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Registration Class  
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)  
Registration Number DEP0001890



#### EROSION & SEDIMENT CONTROL

#### PLAN

drawing

125-174  
project

A09

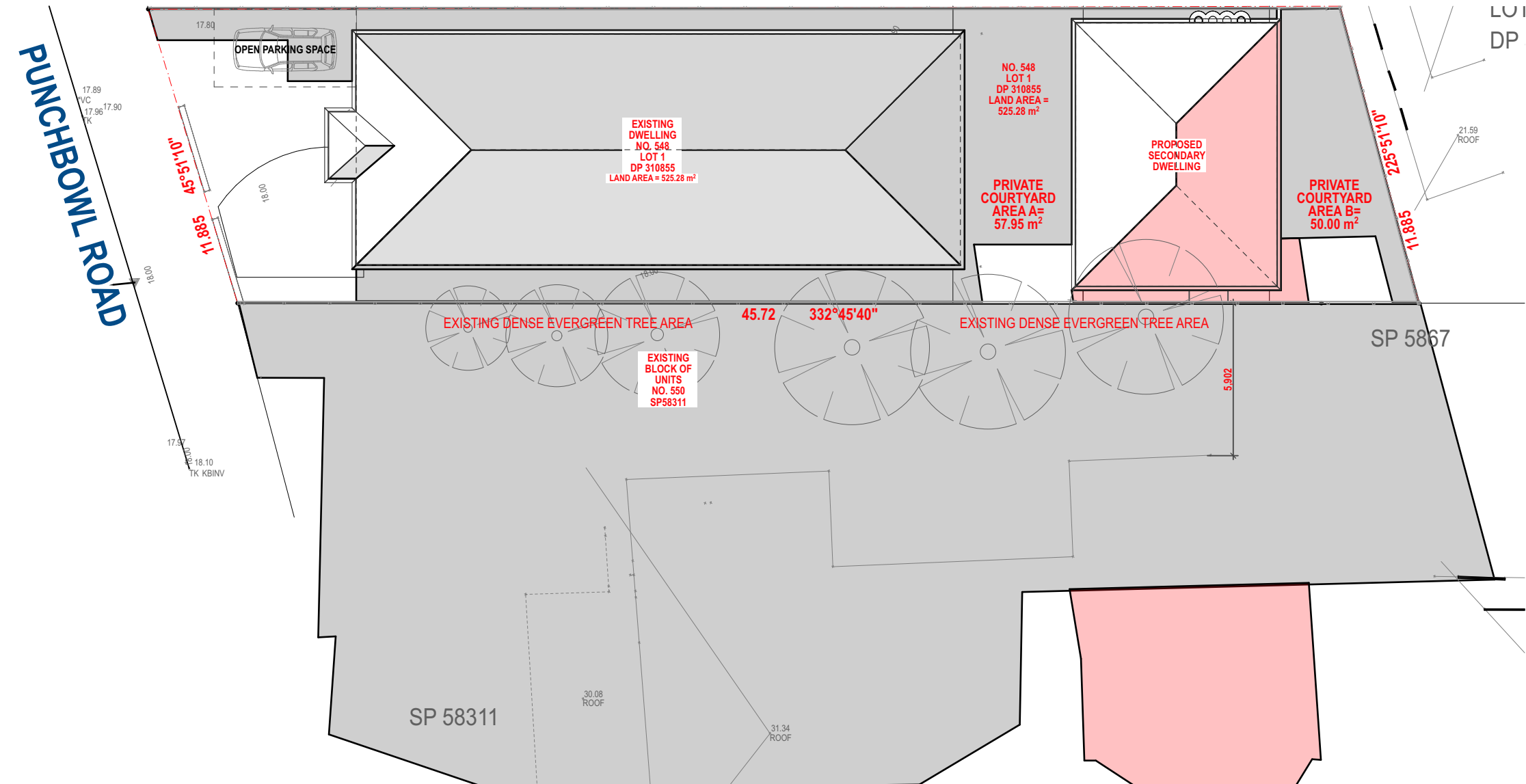
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A

issue

24/2/25





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PREPARED BY ERGO DESIGNS P/L.

SOLAR STATISTICS - 21 JUNE

TIME	AZIMUTH	ALTITUDE
9AM	42.5° NE	17°
12 PM	0° N	32°
3 PM	42.5° NW	17°

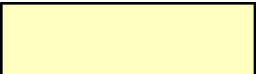
LEGEND



EXISTING SHADOW AREA OF EXISTING FENCE AT @ No.548 PUNCHBOWL ROAD LAKEMBA NSW .

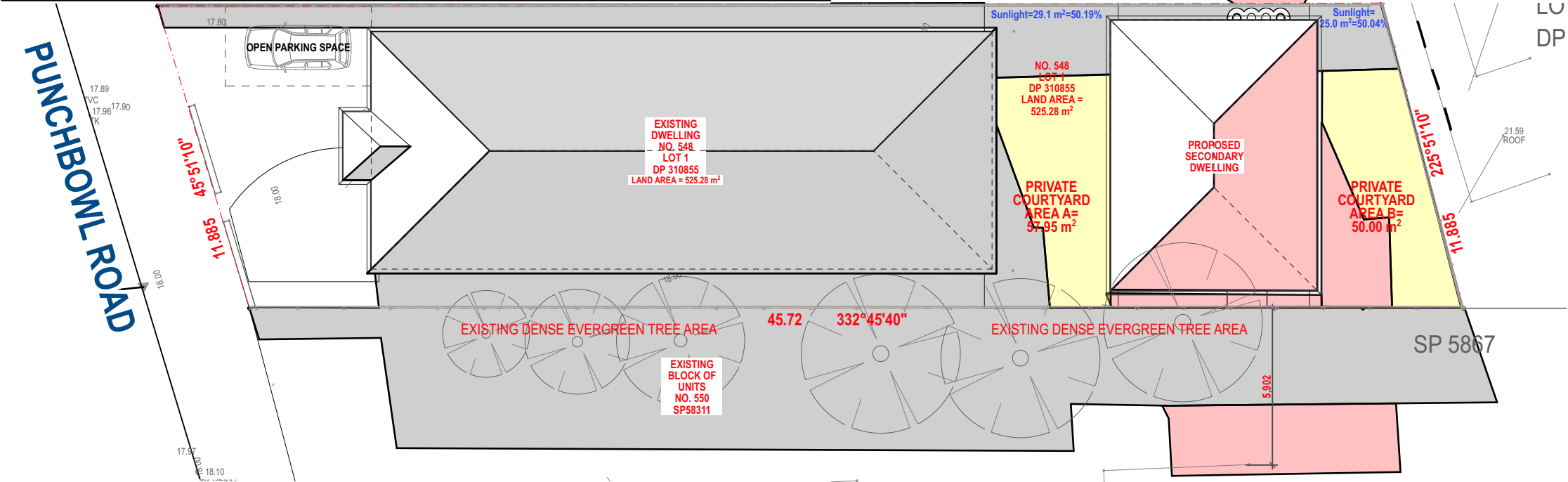


ADDITIONAL SHADOW AREAS DUE TO PROPOSED NEW STRUCTURE AT No.548 PUNCHBOWL ROAD LAKEMBA NSW OVER EXISTING SHADOWS



SUNLIGHT HOURS AVAILABLE IN THE PRIVATE COURTYARD AREA DUE TO PROPOSED NEW STRUCTURE AT No.548 PUNCHBOWL ROAD LAKEMBA NSW.

WINTER SHADOW DIAGRAMS-21st of June -8.0am 1:200



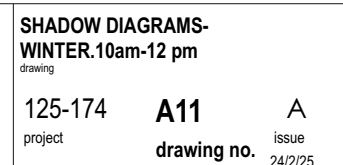
NOTE THE FOLLOWING:  
PROPOSED SHADOW IMPACTS DO NOT AFFECT ANY OF THE ADJOINING WINDOWS OR COURTYARD AREA IN THE EXISTING BLOCK OF UNITS IN THE NEXT DOOR PROPERTY BECAUSE:

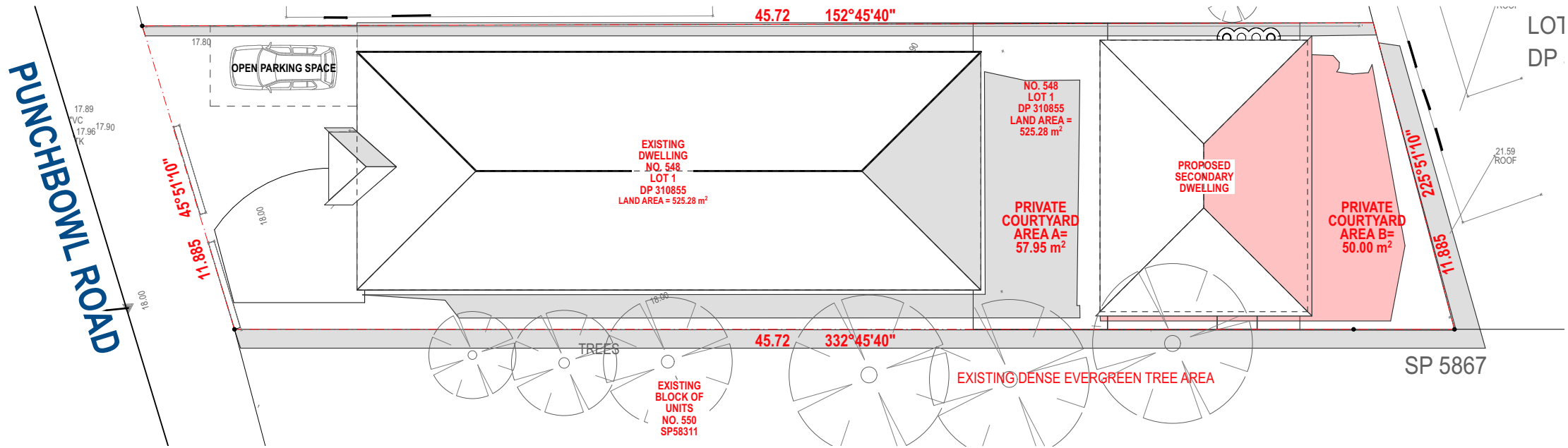
- 1.THE ADJOINING BUILDING IS WELL -AWAY- 5.902m. AWAY.
2. THERE IS AN EXISTING BUFFER BELT OF DENSE PLANTED EVERGREEN TREES IN BETWEEN THE ADJOINING BUILDING AND THE PROPOSED DEVELOPMENT.

THE COURTYARD AREA OF OUR SITE SHALL HAVE A MINIMUM OF 3 HOURS OF SUNLIGHT DURING THE MORNING HOURS OF BETWEEN 9.0am & 12pm.

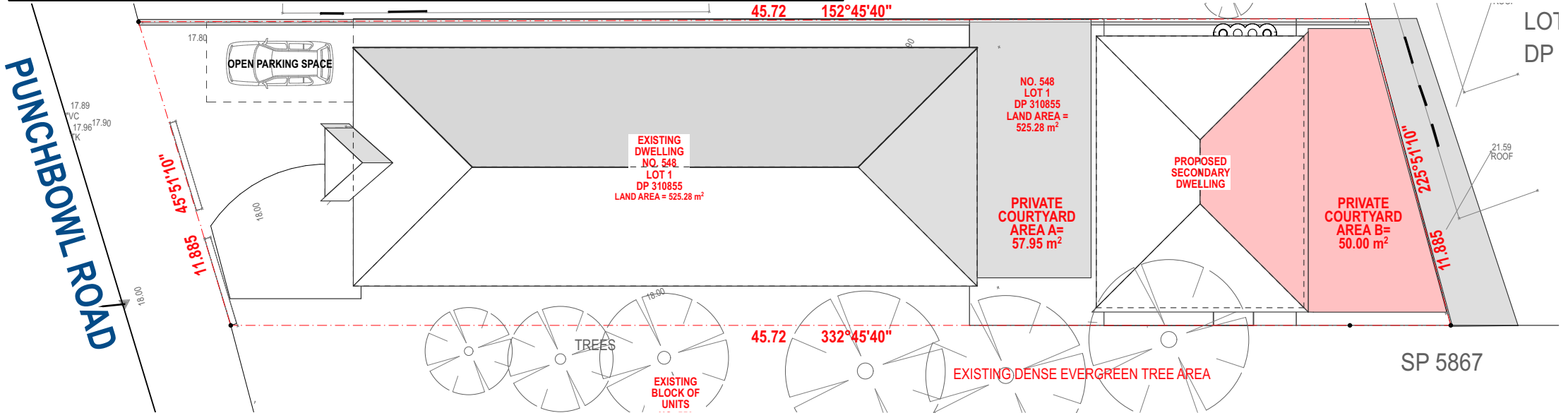
WINTER SHADOW DIAGRAMS-21st of June -9.0am 1:200

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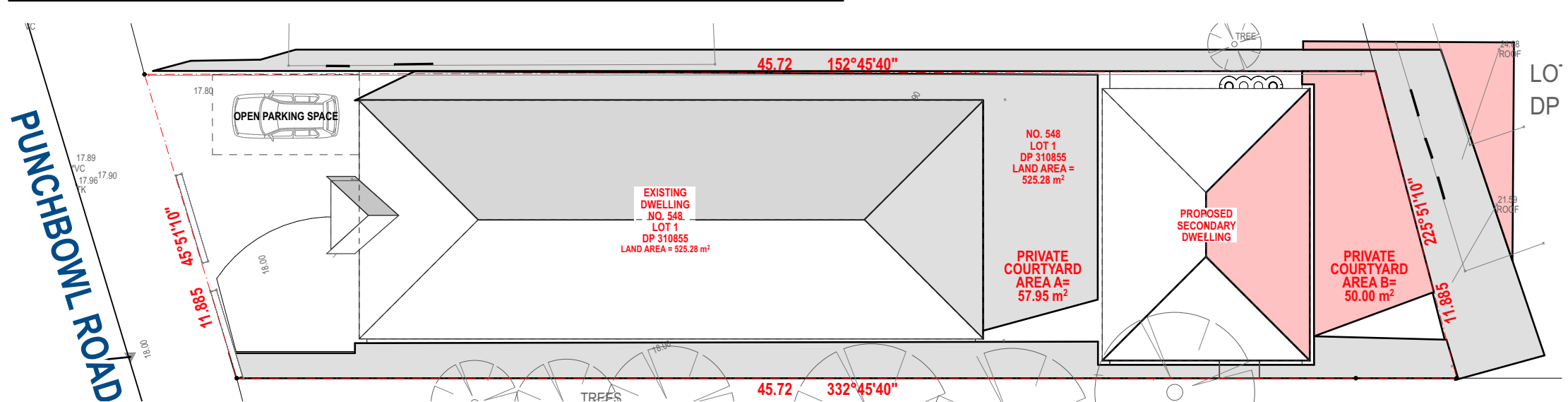




WINTER SHADOW DIAGRAMS-21st of June -1.0pm 1:200



WINTER SHADOW DIAGRAMS-21st of June -2.0pm 1:200



WINTER SHADOW DIAGRAMS-21st of June -3.0pm 1:200

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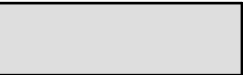
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### SOLAR STATISTICS - 21 JUNE

TIME	AZIMUTH	ALTITUDE
9AM	42.5° NE	17°
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3 PM	42.5° NW	17°

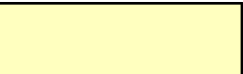
### LEGEND



EXISTING SHADOW AREA OF EXISTING FENCE AT @ No.548 PUNCHBOWL ROAD LAKEMBA NSW .



ADDITIONAL SHADOW AREAS DUE TO PROPOSED NEW STRUCTURE AT No.548 PUNCHBOWL ROAD LAKEMBA NSW OVER EXISTING SHADOWS



SUNLIGHT HOURS AVAILABLE IN THE PRIVATE COURTYARD AREA DUE TO PROPOSED NEW STRUCTURE AT No.548 PUNCHBOWL ROAD LAKEMBA NSW.

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A	DA SUBMISSION	24/2/25
rev	notes	date

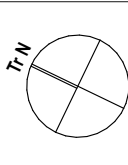
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project  
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**PUNCHBOWL ROAD**  
**LAKEMBA**  
address

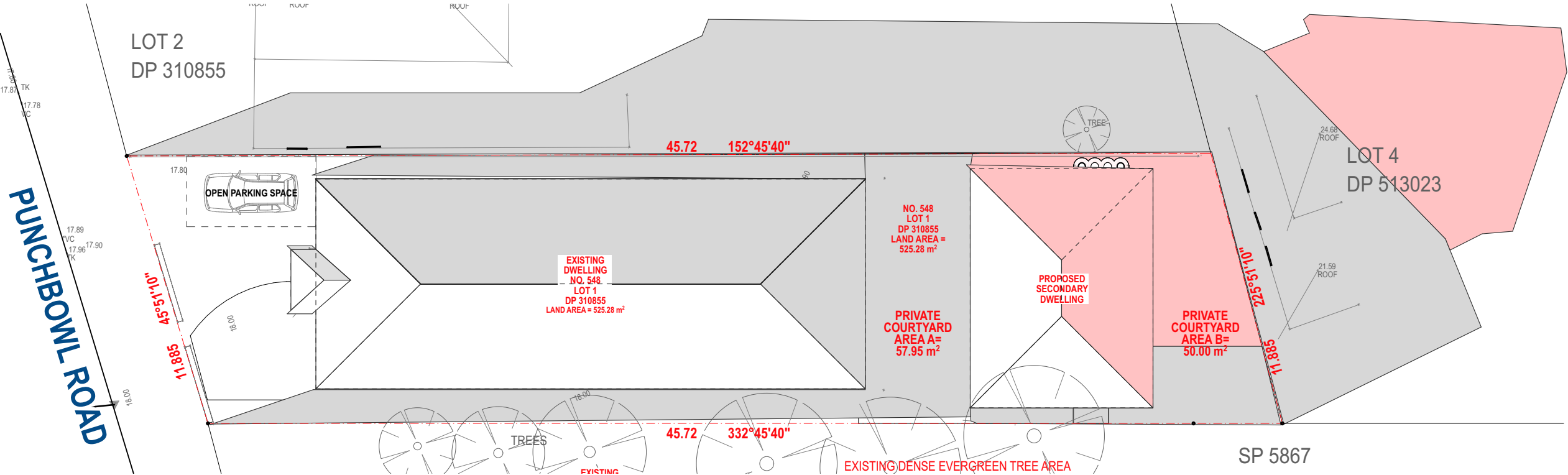
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Registration Class  
BUILDING DESIGN CLASSES (2 LOW & MEDIUM RISE)  
Registration Number DEP001890



**SHADOW DIAGRAMS-WINTER.1pm-3**  
pm  
drawing  
**125-174**  
project  
**A12**  
drawing no.  
**A**  
issue  
24/2/25





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SOLAR STATISTICS - 21 JUNE		
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3 PM	42.5° NW	17°

LEGEND



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Figure 6.2c: Location of noggings for shower walls

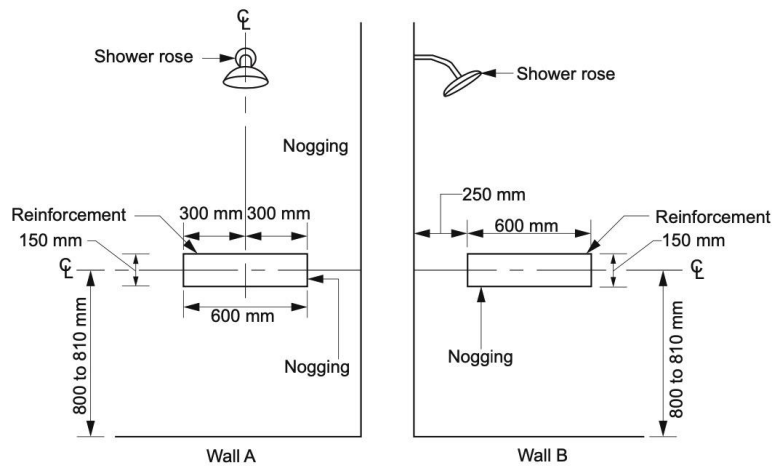


Figure 6.2d: Location of sheeting for shower walls

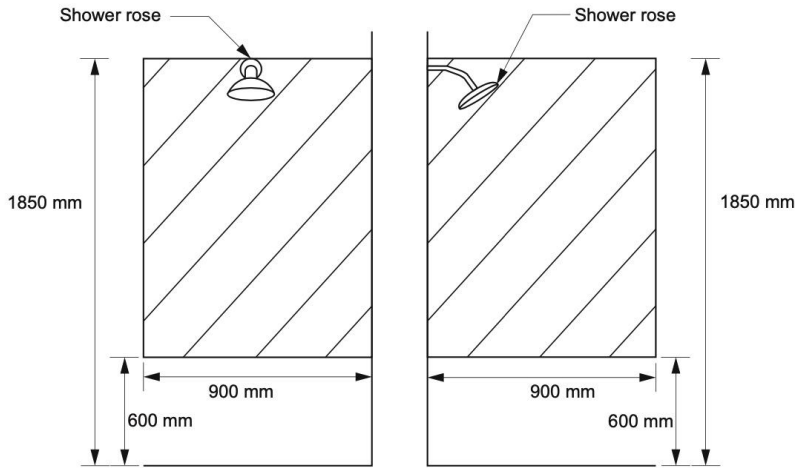


Figure 6.2e: Minimum extent of sheeting for wall adjacent to a toilet pan

Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

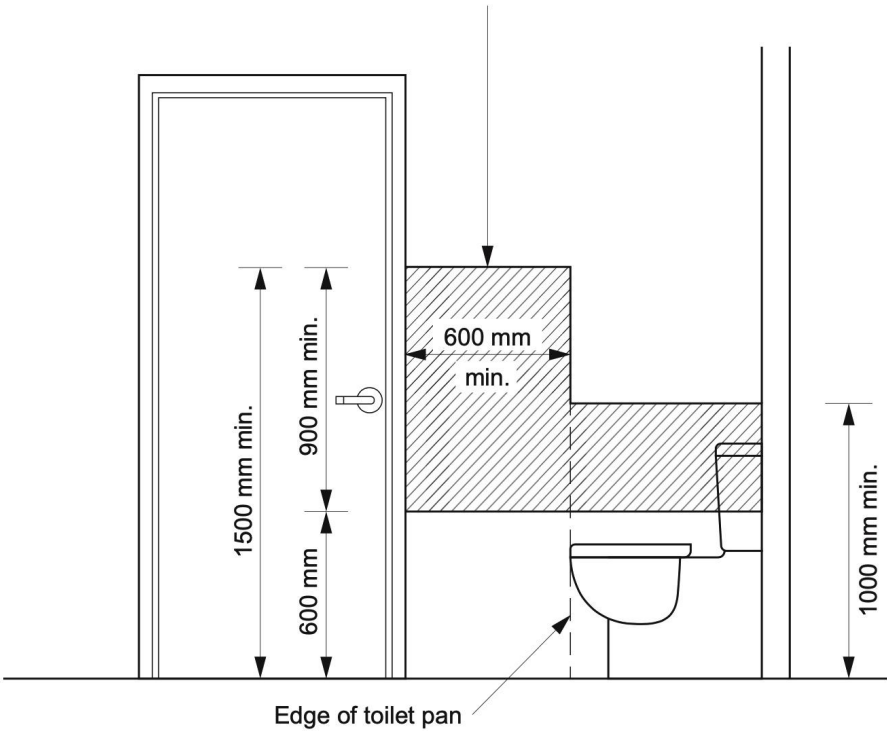


Figure 6.2f: Location of noggings for a wall behind a toilet pan

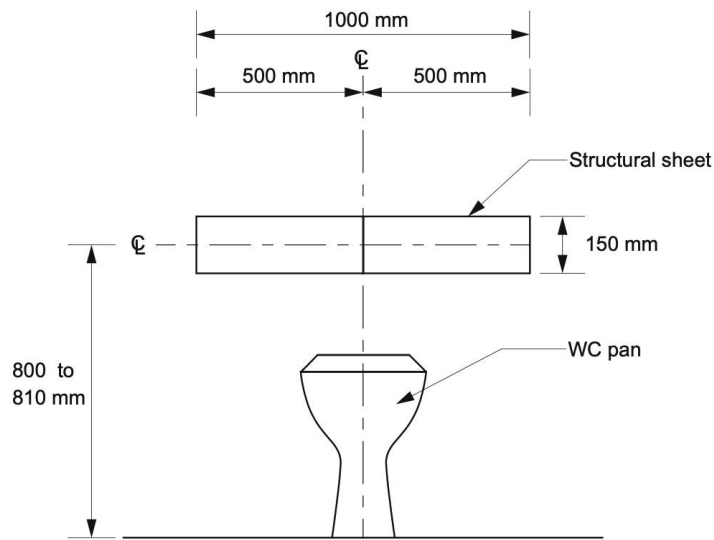
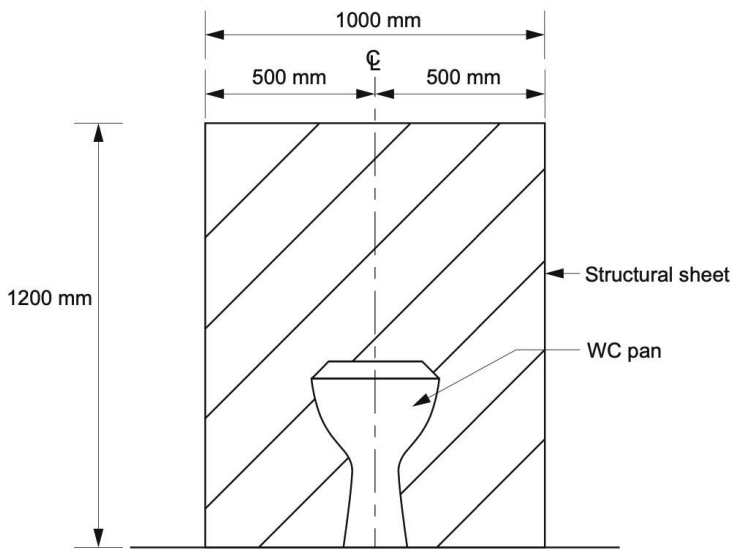


Figure 6.2g: Location of sheeting for a wall behind a toilet pan



## SEVEN CORE DESIGN FEATURES ELEMENTS IN THE SILVER LEVEL

DESIGN FEATURES	EXAMPLES
1. A SAFE CONTINUOUS AND STEP FREE PATH OF TRAVEL FROM THE STREET ENTRANCE AND/ OR PARKING AREA TO A DWELLING ENTRANCE THAT IS LEVEL.	THERE IS A STEP FREE PATHWAY & RAMP (1m MIN. WIDTH) TO THE SECONDARY DWELLING SIDE ENTRANCE.
2. AT LEAST ONE, LEVEL (STEP FREE) ENTRANCE INTO THE DWELLING.	THE MAIN ENTRANCE IS STEP FREE WITH A MINIMUM DOOR WIDTH OF 870mm..
3. INTERNAL DOORS AND CORRIDORS THAT FACILITATE COMFORTABLE AND UNIMPEDED MOVEMENT BETWEEN SPACES.	THERE IS A SAFE AND UNIMPEDED FREE MOVEMENT TO ALL ROOMS ONCE INSIDE.
4. A TOILET ON THE GROUND (OR ENTRY) LEVEL THAT PROVIDES EASY ACCESS.	THERE SHALL BE TWO TOILETS THAT ARE EASILY ACCESSIBLE- & LOCATED ON GROUND LEVEL ONLY AS THE BUILDING IS SINGLE STOREY.
5. A BATHROOM THAT CONTAINS A HOBLESS SHOWER RECESS.	THE SHOWER RM SHALL CONTAINS A HOBLESS SHOWER RECESS.
6. REINFORCED WALLS AROUND THE TOILET, SHOWER AND BATH TO SUPPORT THE SAFE INSTALLATION OF GRABRAILS AT A LATER DATE.	ALL WALLS AROUND THE SHOWER & TOILETS ARE TO BE REINFORCED ALL AROUND AS PER DETAILS SHOWN ABOVE IN ACCORDANCE WITH THE LIVABLE HOUSING DESIGN STANDARD.
7. STAIRWAYS ARE DESIGNED TO REDUCE THE LIKELIHOOD OF INJURY AND ALSO ENABLE FUTURE ADAPTATION.	THERE ARE NO STAIRWAYS ANYWHERE AS THE BUILDING IS SINGLE STOREY ONLY.